

ADDENDUM #1

Date issued: 4/4/2025

INVITATION TO BID: SHIP

Full Bid Package located at:

<https://discover.pbcgov.org/HED/Pages/Contractor%20Info%20and%20Bid-Package.aspx>

Property Owner(s): Emma Tisdale

Property Address: 6216 Azalea Circle, West Palm Beach, FL 33415

Property Control Number: 00-42-44-11-36-000-0910

NOTICE TO GENERAL CONTRACTORS

Please be advised that **ADDENDUM #1** must be signed and be included in the bid package to be received by **4:00 PM April 22, 2025**.

Any bid package received without the signed acknowledgement of **ADDENDUM #1** shall be considered as non-responsive.

Contractor Signature: _____ Date: _____

By signing above, I, The Contractor, here by acknowledge receipt of the above addendum.

SCOPE OF WORK CLARIFICATIONS/ CHANGES/ ADDITIONS:

1. **Clarification/ Changes: Screen enclosure roof is to be evaluated and determine what repairs are required to prevent the roof from leaking.**

PALM BEACH COUNTY DEPARTMENT OF HOUSING & ECONOMIC DEVELOPMENT

100 Australian Avenue, Suite 500, West Palm Beach, FL 33406

EMERGENCY REPAIR PROGRAM AUTHORIZATION TO BID

PROPERTY INFORMATION:

Property Owner:	Emma Tisdale		
Property Address:	6216 Azalea Circle, West Plam Beach, FL 33415		
Primary Phone:	(561) 271-1190		
Secondary Phone:	N/A		
Year Built:	2003		
Noise Attenuation:	Airport Zone: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Required ER: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Building Description: Townhouse	Number Bedrooms: 3		Number Bathrooms: 2
Property Control Number:	00-42-44-11-36-000-0910		

PALM BEACH COUNTY INFORMATION:

Inspector:	Mike Toohey	Mtoohey@pbc.gov	Phone:	561-233-3655
Supervisor:	Aundra Lowe	Alowe@pbj.gov	Phone:	561-233-3614

PROPERTY OWNERS' REVIEW & APPROVAL OF SPECIFCATIONS & AUTHORIZATION TO BID:

I/We have reviewed in detail the Scope of Work with the Rehabilitation Inspector/Project Coordinator and understand the specifications in the Scope of Work shall be performed on my/our property. I/We agree that there will be **"NO"** changes in the Scope of Work unless needed to meet the Housing and/or Building Code Requirements. Furthermore, I/We authorize Palm Beach County Department of Housing and Economic Development to obtain bids for the work contained in the Scope of Work.

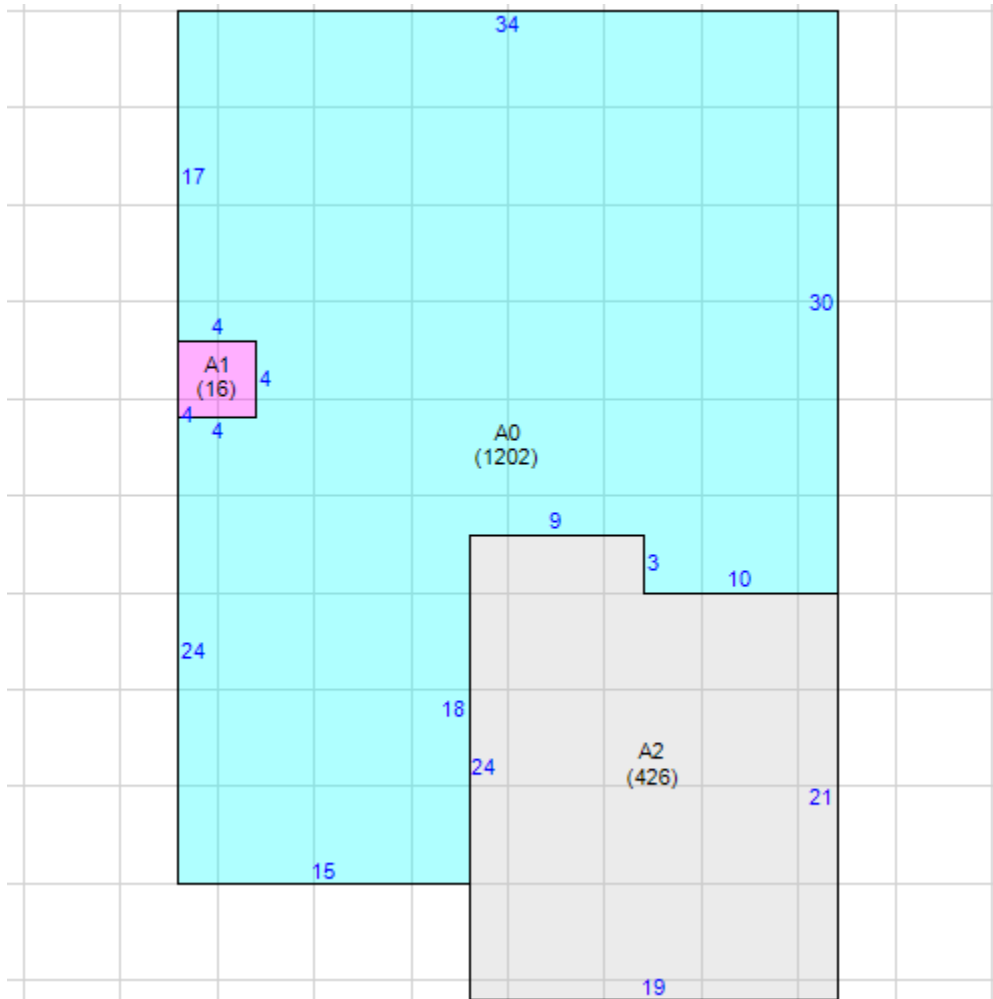
X _____
Property Owner's Signature Date

X _____
Property Owner's Signature Date

ATTENTION: Palm Beach County Department of Housing and Economic Development has Adopted the Florida Energy Codes which may appear in this Scope of Work.

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SKETCH FOR BUILDING 1



[Print Building 1 Sketch](#) Property Owner: Emma Tisdale

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PRICED SCOPE OF WORK-WORK SPECIFICATIONS

Palm Beach County Department of Housing and Economic Development Emergency Rehabilitation Program

Project meeting Site:

Name: Emma Tisdale
Address: 6216 Azalea Cir., WPB, FL 33415
Phone: (561) 271-1190

Home Inspection Date: 2/28/2025

GENERAL SPECIFICATIONS

GENERAL PAINTING SPECIFICATIONS AND GENERAL REQUIREMENTS Unpainted materials require priming and two coats of paint. Caulk and seal all areas prior to painting. Tint the primer per color selection. Previous paint surface should receive two coats of paint. All stains should be spot primed before painting. Unless otherwise mentioned in the specifications, all paint must be mid-grade or better, and minimum 15 years warranty paint, which are ZERO VOC products, for interior paint and ZERO OR LOW VOC 100% acrylic products, for exterior paint. Acceptable paint manufacturers (unless specified in the line item) are Benjamin Moore (Aura or EcoSpec), Sherwin Williams, (Harmony) Glidden/ICI (Life Master), PPG (Pure Performance), Olympic (Valspar), or approved equal. Housing Inspector shall verify brand and VOC level. The Homeowner is to select all colors and confirmed in writing. The Homeowner may select a color choice of 2 colors for interior and or exterior of home in writing/signatures required.

GENERAL REQUIREMENTS FOR QUANTITIES/MEASUREMENTS VERIFY QUANTITIES/MEASUREMENTS

All Quantities stated in the attached specifications for this address using Units of Measure other than Each (EA), Room (RM) or Dwelling Unit (DU) (e.g., SF of Drywall) are for the

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contractor's convenience and must be verified by the contractor at a mandatory site inspection prior to bid submission. All quantities stated in the Units of Measure Each (EA), Room (RM) or Dwelling Unit (DU) are as stated. Discrepancies in Quantities found by the contractor must be communicated to the Housing Rehabilitation Specialist prior to the submission of a bid. Claims for additional funds due to discrepancies in Quantities shall not be honored if submitted after the bid submission.

WORKMANSHIP STANDARDS All work shall be performed in a professional and workmanlike manner. All work shall be performed in a manner reasonably comparable in design and color as the existing and match existing as best as possible. All work shall be performed in accordance with all applicable building codes, according to drawings (if required) and specifications, and professional industry standards. All work shall meet a standard of quality that is uniform to the given industry and should be functional, safe, and usable based on their intended use. Workers shall protect all surfaces as long as required to eliminate/avoid

HOMEOWNER'S ASSOCIATION (HOA) & CONDOMINIUM ASSOCIATIONS (CONDO-ASSOCIATIONS)

(Applicable for all properties that are a part of a HOA or Condo-Association)

It is the Homeowner Responsibility to obtain written approval from the HOA or Condo-Association prior to the start of any work. The Homeowner shall assist the Contractor in securing written authorization from the HOA/Condo Association Board.

The Contractor shall maintain a copy of the approval letter and follow all the rules and regulations set forth by the HOA/Condo Association Board. The Contractor shall maintain a copy of the approval letter. The contractor shall provide a copy of the approval letter to DHED staff. The Letter should include the list of approved work items such as roof, paint, sliding glass doors, garage doors, windows, front side, rear or French doors, finishes, etc. It is the Contractor's responsibility to ensure that all necessary approvals are obtained prior to making any changes or starting the work.

Contractor to repair/replace all affected areas of walls, ceiling, and soffit due to the installation of the required roof to wall attachments with similar material to existing and finish and paint to match existing as best as possible.

Debris Removal: legal and approved dump locations to properly dispose of all projects construction debris must be utilized by the contractors who sign the SOW agreement.

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Roof to Wall Connector Specification

The Contractor shall install the required roof to wall connectors to meet the current requirements of the Florida Building Code. The contractor shall have the permit revised indicating the installation of the roof to wall connectors including any engineering, NOAs, or other documents required by the Building Department of Jurisdiction. The Contractor shall install the recommended roof to wall attachments per the Engineer's specifications. The Contractor shall submit the Engineer's report. The contractor shall obtain the Engineer's final approval of the installation of the roof to wall attachments and submit that approval to the Project Coordinator/Compliance Inspector within 5 days of receiving the Engineer's approval. The Contractor shall remove enough plywood to install the required roof to wall connectors. All removed plywood shall not be reused, and new plywood shall be installed in its place.

WIND MITIGATION INSPECTION AND 4-POINT INSPECTION AND REPORTS

a. Wind Mitigation Inspection and Report-upon completion of the work specifications, the Contractor shall perform a Wind Mitigation Inspection at the completion of project. Complete the Citizens Wind Mitigation OIR-B1-1802 (Rev. 01/12) or approved equivalent, and all photos that are required for the report and homeowner signatures required. The report is to be submitted with the final pay application for the project. The inspection shall be prepared by the following Florida DPBR licensed professional; Architect, Engineer, General Building or Residential Contractor, Building Code Inspector or Home Inspector.

b. 4-Point Inspection and Report-Contractor shall perform a 4-Point inspection at the completion of the project and submit the required report, Citizens 4-Point Inspection Form Version 01/18 or approved equivalent, and all photos that are required for the report. This report is to be submitted with the final pay application for the project. The inspection shall be prepared by the following Florida DPBR licensed professional; Architect, Engineer, General Building or Residential Contractor, Building Code Inspector or Home Inspector.

PERMITS AND MISCELLANEOUS FEES

a.For the Home Inspector, the contractor must have on site the complete permit package for all trades (permit cards, applications, drawings, etc.). The Contractor shall submit this complete Scope of Work with the Permit Application.

WARRANTEES

The Contractor agrees to provide a one (1) year warranty for all work performed under these specifications. This will include all labor and materials. If certain items require different warranty periods, these items will be cited in the individual specifications. Additionally, the Contractor agrees to provide a Five (5 year) roof warranty.

ABESTOS GENERAL REQUIREMENT – 9003.6

Spec# 9003.6 - ASBESTOS-SPECIFIC LAWS, RULES, REGULATIONS & GUIDELINES

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ASBESTOS GENERAL CONDITIONS

No Asbestos Survey has been conducted on this house. The execution of all work in the Scope of Work shall comply with all applicable federal, state, and local laws, rules, regulations, and guidelines for Asbestos environments, including but not limited to: 29 CFR Parts 1910, 1915, and 1926 - OSHA Asbestos Standards; 29 CFR 1928 - OSHA Construction Standards; 40 CFR Parts 9, 61, 721, 763 - EPA; The NESHAP Standards; 16 CFR Part 1305 and 1304 - Consumer Product Safety Commission; the Clean Air Act. The contractor shall at all times implement safe work practices during rehabilitation work.

Lead Based Paint Required Specifications

Spec # 9002 - APPLICABLE LEAD-SPECIFIC DEFINITIONS

Abatement: Any set of measures designed to permanently (permanent = expected life span of at least 20 years) eliminate lead-based paint or lead-based paint hazards.

CFR - The Code of Federal Regulations:

De minimus - Safe work practices and clearance are required when more than:

- 20 SF on exterior
- 2 SF per interior room
- 10% of small component is deteriorated or will be disturbed by renovation.

Interim Controls: A set of measures designed to reduce temporarily human exposure or likely exposure to lead-based paint hazards. Interim controls include, but are not limited to, repairs, painting, temporary containment, specialized cleaning, clearance, ongoing lead-based paint maintenance activities, and the establishment and operation of management and resident education programs.

Work site: An interior or exterior area where lead-based paint hazard reduction activity takes place. There may be more than one work site in a dwelling unit or at a residential property.

Clearance: An activity conducted following lead-based paint hazard reduction activities to determine that the hazard reduction activities are complete and that no soil-lead hazards or settled dust-lead hazards, as defined in this part, exist in the dwelling unit or work site. The clearance process includes a visual assessment and collection and analysis of environmental samples. Dust-lead standards for clearance are found at Sec. 35.1320. When required, the contractor is responsible for obtaining all required clearance reports. See 24CFR Part 35 - Subpart B - Section 35.110 Definitions, for additional definitions.

Spec # 9003 - LEAD-SPECIFIC LAWS, RULES, REGULATIONS & GUIDELINES The execution of this work shall comply with all applicable federal, state and local laws, rules, regulations and guidelines for lead dust environments, including but not limited to: 29 CFR 1926.62 - Lead Construction Standard; 29 CFR 1910.1200 - Hazard Communication Standard; 40 CFR Part 745 - Lead-Based Paint Poisoning Prevention in Certain Residential Structures (EPA Regulations); 24 CFR Part 35 - HUD's Lead Safe Housing Rule.

Spec # 9003.5 – LEAD-SPECIFIC LAWS, RULES, REGULATIONS & GUIDELINES

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LEAD BASED PAINT GENERAL CONDITIONS

EPA's Lead Renovation, Repair and Painting Rule (RRP) Rule requires that Contractors performing renovation, repair and painting projects that disturb lead-based paint in homes built before 1978 be certified by EPA per §745.89, use certified renovators for abatement who are trained by EPA-approved training providers and follow lead-safe work practices. Contractor certification is a key requirement to ensure the training of individuals and the use of lead-safe work practices.

No Lead Based Testing has been conducted on this house. The execution of all work in the Scope of Work shall comply with all applicable federal, state, and local laws, rules, regulations and guidelines for lead dust environments, including but not limited to: 29 CFR 1926.62 - Safety and Health Regulations for Construction (OSHA); 29 CFR 1910.1200 - Hazard Communication Standard; 40 CFR Part 745 - Lead-Based Paint Poisoning Prevention in Certain Residential Structures (EPA Regulations); 24 CFR Part 35 - HUD's Lead-Based Paint Poisoning Prevention in Certain Residential Structures in particular 24 CFR 1330 and 24 CFR 1350; Residential Lead-Based Paint Hazard Reduction Act of 1992; HUD Guidelines for the Evaluation and Control of Lead Hazards in Housing. The contractor shall at all times implement safe work practices during rehabilitation work in accordance with 24 CFR Part 35.1350. When required, the Contractor is responsible for obtaining all required Clearance Reports.

Spec# 9008 - ENVIRONMENTAL REHAB--RRP REQUIREMENTS

Any contractor performing renovation, repair, and painting projects that disturb lead-based paint in pre-1978 homes must comply with EPA 40 CFR Part 745(Lead; Renovation, Repair, and Painting Program), be certified by the EPA as a Renovation Firm and must use Certified Renovators who are trained by EPA-approved training providers to follow lead-safe work practices.

PRICED SCOPE OF WORK- WORK SPECIFICATIONS

WIND MITIGATION INSPECTION AND 4-POINT INSPECTION AND OTHER REQUIRED REPORTS

(01) WIND MITIGATION INSPECTION REPORT

Upon completion of the work specifications, the Contractor shall perform a Wind Mitigation Inspection at the completion of project. Complete the Citizens Wind Mitigation OIR-B1-1802 (Rev. 01/12) or approved equivalent, and all photos that are required for the report and homeowner signatures required. The report is to be submitted with the final pay application for the project. The inspection shall be prepared by the following Florida DPBR licensed professional; Architect, Engineer, General Building or Residential Contractor, Building Code Inspector or Home Inspector.

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(02) 4-POINT INSPECTION REPORT

Contractor shall perform a 4-Point inspection at the completion of the project and submit the required report, Citizens 4-Point Inspection Form Version 01/18 or approved equivalent, and all photos that are required for the report. This report is to be submitted with the final pay application for the project. The inspection shall be prepared by the following Florida DPBR licensed professional; Architect, Engineer, General Building or Residential Contractor, Building Code Inspector or Home Inspector.

(03) WOOD DESTROYING ORGANISM (WDO) INSPECTION AND REPORT

General Information:

1. The WDO inspection is to be done by a Florida licensed extermination company licensed to provide inspection services.
2. All work to be done in accord with the provisions of Florida Statue, CHAPTER 482.
3. The WDO report to be submitted on the required form as determined by the Department of Agriculture and Consumer Services.
4. Contractor to submit the WDO report to the Project Coordinator/Compliance Inspector with the Mobilization Pay Application including all required documentation.

Project Conditions:

Contractor to correct/repair all damages caused by the extermination company during the inspection. Work Performance

1. Coordinate the inspection with the property owner.
2. Perform a full WDO investigation (Exterior and Interior) to determine the presence of WDOs and/or Termites.
3. Submit the findings (Positive or Negative) on the required Florida Department of Agriculture and Consumer Services Form.
4. The inspection report must include the following information and statements:
 1. The licensee's name.
 2. The date of the inspection.
 3. The address of the structure inspected.
 4. Any visible accessible areas not inspected and the reasons for not inspecting them.
 5. The areas of the structure that were inaccessible.
 6. Any visible evidence of previous treatments for, or infestations of, wood destroying organisms.
 7. The identity of any wood-destroying organisms present, and any visible damage caused.
 8. A statement that a notice of the inspection has been affixed to the property in accordance with subsection (4) or subsection (5) of Florida Statue 482 and a statement of the location of the notice.
 9. A Copy of the WDO report is to be submitted to the Project Coordinator/Compliance Inspector within 2 days of the inspection for review.

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(04) PITCHED-SHINGLE ROOF REPLACEMENT

SHINGLE ROOF REPLACEMENT

- a. Asphalt Shingle Roof: roof replacement pitched roof. Entire pitched roof. Dimensional asphalt laminated shingles, algae resistance, rate for a minimum of 130 mph wind resistance and have a Class A fire rating.** Acceptable shingles are Shingles as manufactured by Owen Corning or an approved equal.
- b. Pitched Roof:** Asphalt Roof Shingles: Contractor shall remove the entire existing shingle roof and replace the entire roof with a new dimensional shingle roof meeting the requirements of the Florida Building Code. **FBC Section 1512 New Roof Plan-Permit Requirements.** Furnish and install new underlayments, 3 inches galvanized steel drip edge, galvanized steel valleys, return/wall flashings, lead stacks on all plumbing projections, pitch pan at electrical service mast, and new roof jacks. Furnish and install new 30-year architectural fungus resistant fiberglass shingles mechanically fastened to deck. Valley shingles may be applied in and open or closed fashion only, not woven. **The contractor shall warranty work for five years** from the final completion date of all work under this contract. Homeowner will select colors from the manufacturer's standard colors. Upon completion of work, the contractor will provide the homeowner with the warrantee up to **five-5 years** against leaks. **30lb felt underlayment** is needed for the entire roof replacement must be used to meet Furnish and install new underlayment mechanically fastened to the deck, Four Ply Built-Up Roof Finishing in a Mineral Surfaces Cap Sheet. Upon completion of work, Contractor will provide the Homeowner with the manufacturer's warranty and Contractor's five-year warranty against leaks. This item requires a permit
- c. All debris** from the Contractor's activities shall be removed from the property and all surfaces swept or raked clean. The Contractor is responsible for providing protection from the weather during the re-roofing and protection of all areas of the property affected by the Contractor's activities.
- d.** Contractor shall tear-off and dispose of all existing roofing material. The existing wood decks shall be re-nailed in accordance with FBC R4402.10.5. All decks shall be broom clean and dry prior to the application of the new roof covering.
- e.** Contractors shall include in their bid the cost of replacing up to 10% of the sheathing/planking and up to 40 linear feet of truss/rafter chords. Damage in excess of 10% of the sheathing/planking and/or in excess of 40 linear feet of truss/rafter chords shall be addressed in a change order.
- f.** All flashings and drip metal shall be minimum 26 ga. galvanized steel. Drip metal shall have a 3" flange, lapped a minimum of 3" and fastened with 12 ga. x 1-1/4" corrosion resistant ring-shanked roofing nails spaced at 4" on centers. Contractor shall replace deteriorated portions of existing 1"x 2" drip edge at the top of fascia. If no 1"x 2" exists at the top of the fascia, the contractor shall install all new 1"x 2" drip edge.
- g.** Valley metal and all tie-ins at sloped roof areas shall be 16" in width, or as required by code, and lapped a minimum of 6" on centers with a full bed of roofing cement. The entire edge of the flange and all nail penetrations shall be covered with membrane and roofing cement.
- h.** All roofing cement shall be ASTM D-4586 asbestos-free and all products shall have Metro-Dade Component Approval.

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(05) SECONDARY WATER BARRIER

a. Install a Secondary Water Barrier-SWB: A secondary water barrier is required. There is a 30lbs felt paper requirement:" Install a proper secondary water resistant "SWR" barrier, Self-Adhering Polymer Modified Bitumen Underlayment "Peel & Stick" Rolls directly to the roof deck installed per manufacturer's specifications and Building Code of Jurisdiction or 4" or 6" tape directly to all roof deck seams installed per manufacturer's specifications and Building Code of Jurisdiction.

(06) RAIN GUTTERS AND DOWNSPOUTS

Rain Gutters and Downspouts: 6" seamless aluminum rain gutters k-type, seamless .027-gauge aluminum. Color to match HOA requirements. White gutters are there now need to be installed per jurisdiction. Need to be removed and disposed per program guidelines.

Downspouts: 4" Aluminum seamless .027-gauge aluminum. Strap 3' on center. At a minimum of one downspout per each side of home in the three described areas.

Install 24" concrete splash blocks on grade for each downspout to discharge water away from the foundation.

(07) REPLACEMENT NEW HURRICANE IMPACT RESISTANT (HIR) FRONT DOOR

A. DESCRIPTION OF HIR DOOR OPENING HIR-IMPACT IMPACT DOOR. Install a new impact resistant hurricane door. New composite frames and casing is required. New wood buck,

set buck in premium silicone sealant. Install the door and its components in strict compliance with the Florida Building Code (including FBC Energy Conservation), Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE). This item requires a permit.

B. Front door shall be a HIR standard door. One new impact resistant hurricane door. New composite frames and casing is required. New wood buck, set buck in premium silicone sealant. Install the door and its components in strict compliance with the Florida Building Code (including FBC Energy Conservation), Florida Product Approval (or Miami/Dade NOTICE OF ACCEPTANCE).

C. Door Hardware: replace all the hardware to be installed for the home's newly installed door.

D. DESCRIPTION OF THE HIR EXTERIOR DOOR: The new Out-swing impact resistant fiberglass, composite or steel exterior door as described above. The door shall be complete with jamb, composite casing, brick molding. Install aluminum weather-stripping saddle, weather-stripping, and spring/chain stop or doorstop. Discuss with the Homeowner the height of the peephole prior to installation. The doorknob should be an entry-type, which can be locked by

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turn button inside or a key outside. Deadbolt will have turn piece inside and keyed to knob outside, knob and deadbolt keyed alike.

E. Countersink all fasteners into frame, to conceal, fill with wood putty and sand smooth.

F. If door and/or jamb are unfinished, apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. Paint the door as recommended by the manufacturer. Hurricane Resistant and code compliant doors shall meet the current and local FBC.

**(08) REPLACE ALL WINDOWS WITH NEW HURRICANE IMPACT RESISTANT
WINDOWS USING NEW HIR-SINGLE HUNG WINDOW
3 WINDOWS**

A. Replace all windows (3) three windows with new Hurricane Impact window in the same configuration using a clear view same as the existing window. **Hurricane Impact Resistant Windows-(HIR).**

B. Locations: rooms of home bedrooms, living and dining rooms.

C. Replace the bathroom windows with a new HIR opaque glass window in the same configuration as the existing windows using same design as existing.

All window replacements require code approval, and the installation must be in accordance with the Florida Building Code. **Contractor to verify all measurements. Install new hurricane resistant impact glass single hung windows with screens and tinted glass- based upon the requirements please include cost for either type of window as described.** All windows can be replaced with single hung windows including screens for all windows. Homeowner shall

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select color of frames and degree of tinted glass from the standard stock. Install the new hurricane impact resistant windows with their components in strict compliance with the Florida Building Code product approval (or Miami/Dade NOTICE OF ACCEPTANCE) including FBC Energy Conservation. This item requires a permit.

Prior to submitting the bid, it is the contractor's responsibility to verify if the City Building Official is requiring the replacement windows to comply with the FBC Energy Conservation. Bid accordingly.

a. Install wood buck, set buck in caulk. Stucco the exterior and repair drywall interior side.

b. All exposed anchoring screws shall be the same color as the window frame.

c. Install ALL new ½" marble sills. The windowsills must completely conceal the mullion clips. Do not notch-out the windowsills and use a filler material to conceal the mullion clips.

d. Remove the manufacturers' stickers and any residue on the glass after all final inspections.

e. Paint, plaster and finish.

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(09) NEW HURRICANE IMPACT RESISTANT (HIR) METAL GARAGE DOUBLE WIDTH OVERHEAD GARAGE DOOR AND DOOR OPENER

Replace the overhead Double WIDTH garage door. The new overhead HIR garage door can be made of metal-HIR. The new overhead garage door should not require painting. Paint overhead garage HIR-metal door if unfinished per manufacturer recommendations. Homeowner will select a standard color and style. Repair all damaged walls inside and out caused by door removal. Any modifications or repair work to stucco, drywall, paint, caulk, and/or tile should match existing adjacent surfaces. Apply one coat of primer/sealer and two coats of 100% acrylic latex paint on jamb and casing. The new overhead garage door with components shall be installed in strict compliance with the Florida Building Code product approval (or Miami/Dade NOA). This item requires a permit. Priority 2 and 5.

A. The new overhead double width HIR-metal garage door using a new overhead automatic opener and new push button control (two remote controls). Install overhead electrical for the system and install push control at door entrance or at a new accessible height to be decided by owner. An automatic eye is required.

B. Install and mount to code the HIR-METAL overhead double car door width with a set of new tracks, springs cables and rollers with this system.

C. The installation includes: all moldings, interior and exterior molding, thresholds, fastenings, etc. 1/4" reveal between door and jamb maximum. Countersink and mask all tapcons.

Warranty must be provided. Electric required. The garage door and its components shall be installed in strict compliance with the Product Approval to meet FBC. Repair all damaged and adjacent surfaces inside and out, caused by door removal and modifications, restoring to original condition. This item requires a permit. Install aluminum weather-stripping saddle, weather-stripping around the frame.

D. Remove and replace all of the garage doors rotted wood from around doorframe with new wood trim. Prime, paint and finish after replacement.

(10) PERMITS AND PLANS

(11) ADDENDUM #1 Clarification/ Changes: Screen enclosure roof is to be evaluated and determine what repairs are required to prevent the roof from leaking.

SUMMARY

Grand Total

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ALTERNATE ITEMS

(01) REPLACE THE WATER HEATER

a. Water Heater: Install a new energy smart water heater in the in-the laundry room in the existing section. The water heaters' electrical wattage shall be sized according to the existing electrical circuit. The T & P valve must be accessible and located for ease and access. This is a safety requirement. Replace the supply lines and electrical to the water heater. Ensure all the plumbing connection lines meet code for this installation. Plumbing and electrical is required. Water heater must have 10-year warranty. Escutcheons to secure openings and provide pipe protection. The plumbing and the electrical connections must be meet code. A ½" relief line is required, and it must drain dry and ensure it extends 6" from and off the ground and connect to code. Repair drywall damage to wall. A collection pan under the unit is required with this installation.

(02) ALTERNATE #1 EXTERMINATION - FUMIGATION AND/OR SUBTERRANEAN

1. Termite treatment must be provided by a Florida Licensed Extermination Company.
2. All work to be done in accordance with the provisions of Florida Statue Chapter 482.
3. All fumigation and treatments to be done according to manufacturer's instructions and EPA registered labeling instructions and requirements.
4. Extermination will take place when all construction work is 100% complete and Certificate of Completion has been issued by the Building Department of Jurisdiction.

Project Conditions:

1. Contractor to correct/repair any and all damages caused by the extermination company during the fumigation and/or treatment.
2. If drilling is required as part of the Pest Control Plan, the Contractor is required to fill ALL holes to match the existing surface with good quality filler as required by all regulations and codes.
3. The Contractor and/or the Extermination Company shall observe all safety precautions throughout the extermination process.
4. The Contractor and/or the Extermination Company shall comply with all applicable requirements of Federal, State, and Local laws and regulations.

5. The Contractor and/or the Extermination Company shall strive for practices and procedures that maximally protect the public, employees, and the environment, including, but not limited to, the posting of all required warning signs.

Work Performance:

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1. Upon a positive inspection report of evidence of WDO, a Pest Control Plan shall be submitted to the Project Coordinator/Compliance Inspector, o include, but not limited to, the inspection report, the cost for extermination, the type of chemical used, the type of application to be used, the quantity of the chemical to be used, the makeup of the chemical to be used, the manufacturer of the chemical, and the time it will take to complete the project.
2. Coordinate the fumigation and/or treatment with the property owner.
3. The Contractor and/or Extermination Company is required to educate, instruct, and if necessary, help the homeowner to prepare for treatment.
4. The Contractor and/or the Extermination Company shall submit a clearance report showing that the treatment is complete, and the residence is safe for habitation.

(03) ALTERNATE #1-ROOF TO WALL CONNECTOR SPECIFICATIONS _____

The Contractor shall install the required roof to wall connectors to meet the current requirements of the Florida Building Code. The contractor shall have the permit revised indicating the installation of the roof to wall connectors including any engineering, NOAs, or other documents required by the Building Department of Jurisdiction. The Contractor shall install the recommended roof to wall attachments per the Engineer's specifications. The Contractor shall submit the Engineer's report. The contractor shall obtain the Engineer's final approval of the installation of the roof to wall attachments and submit that approval to the Project Coordinator/Compliance Inspector within 5 days of receiving the Engineer's approval. The Contractor shall remove enough plywood to install the required roof to wall connectors. All removed plywood shall not be reused, and new plywood shall be installed in its place.

SUMMARY

AGREEMENT I/We agree that each item in these specifications has been discussed in my/our presence and I/we understand the contents. It is further agreed that any additional code or incipient (that is becoming apparent) violations that may occur during the construction period should be addressed by deleting a non-code related item(s), which are called General Property Improvements. By our attested signature(s), I/we agree to abide by these conditions.

SUMMARY TOTAL ALTERNATES

TOTAL _____

TOTAL

SUMMARY GRAND TOTAL
